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 3. Dimensions must verify all dimensions and report any discrepancies before making work in hand or making any final drawings.
 4. Lower ground contouring/grading sections to be produced separate sheet.
 5. Electrical symbols to be agreed with client & added to drawing.
 6. Drawings to be read in conjunction with specifications.

RENAISSANCE RETIREMENT
 LUXURY RETIREMENT LIVING

Project: **PLANNING**
 Renaissance Retirement

Site: Church Street, Wantage
 Location and Block Plan

Client:	ASPIRE ARCHITECTS LTD
Project No:	ASP-14-027-001
Architect:	ASPIRE ARCHITECTS LTD
Address:	15 King Street, Wantage, Oxfordshire, OX12 0JZ
Date:	15/02/2022
Scale:	1:500

ASPIRE ARCHITECTS LTD



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 3. Confirm the final levels of elevations and report any discrepancies before setting work in hand or making any major construction.
 4. Lower ground construction retaining structures to be standard engineering design.
 5. Erection of steel to be agreed with client & added to drawing.
 6. Drawings to be used in conjunction with specifications.

0 1m 2m
Proposed Site Plan (1:200)

RENAISSANCE RETIREMENT
 Luxury Retirement Living

Plot A, Winton Park Road
 Winton, Southampton

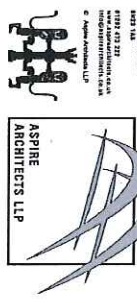
PLANNING
 Renaissance Retirement

Client: Renaissance Retirement
 Church Street, Winton

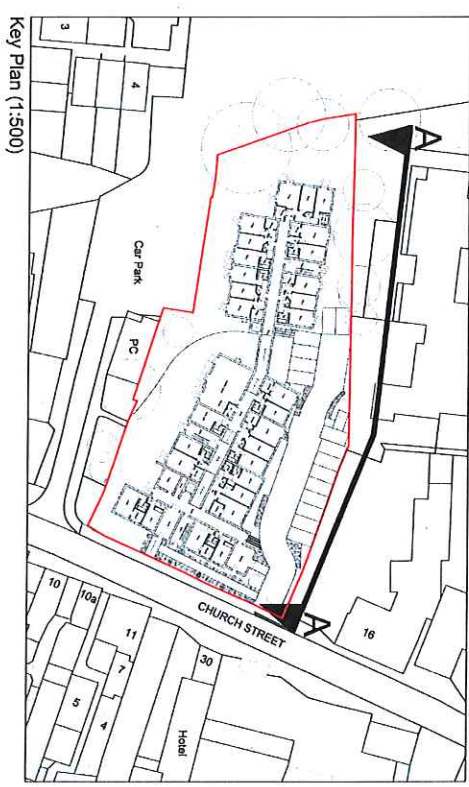
DATE OF ISSUE	20/06/20	NUMBER	01
DATE OF REVISION	20/06/20	REVISION	01
PROJECT	ASP/14/047/002	SCALE	A

ARCHITECTURE - PLANNING - PROJECT MANAGEMENT - CONSTRUCTION MANAGEMENT

20 WINTON PARK ROAD
 WINTON, SOUTHAMPTON
 SO9 4JL
 023 8020 0000
 023 8020 0001
 023 8020 0002
 023 8020 0003
 023 8020 0004
 023 8020 0005
 023 8020 0006
 023 8020 0007
 023 8020 0008
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 023 8020 0019
 023 8020 0020



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 3. Contractors must verify all dimensions and report any discrepancies before building.
 4. Lower ground construction/retaining measures to be finalized before design.
 5. Electrical systems to be agreed with client & added to drawing.
 6. Drawings to be read in conjunction with specifications.



RENAISSANCE RETIREMENT

Luxury Retirement Living

Site: 14, 047, 203
 Plot: 14, 047, 203
 Planning: B

PLANNING

Renaissance Retirement

Church Street, Warrage
 Proposed West Elevation

Drawn by: [Name]
 Checked by: [Name]
 Date: 14/04/2023

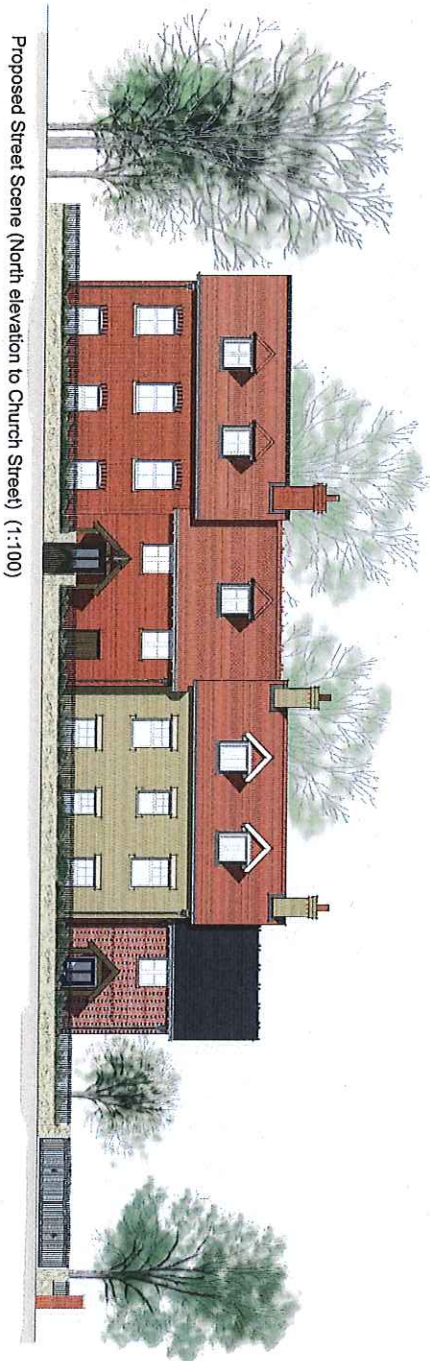
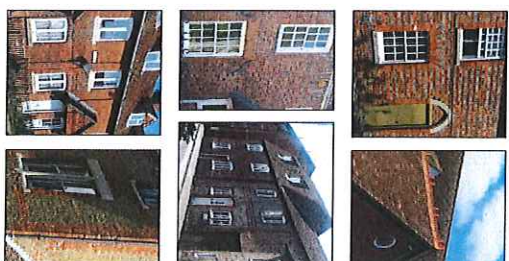
ASPIRE ARCHITECTS LLP



NOTES:

1. The contents of this drawing are copyright.
2. Do not scale for construction purposes. (Final dimensions only to be used)
3. Contractors must verify all dimensions and report any discrepancies before putting
4. Lower ground construction/finishing minimum to be standard engineer design.
5. Electrical systems to be spaced with clear & noted to drawing
6. Drawings to be used in conjunction with specifications.

Inspirational local buildings.....



Proposed Street Scene (North elevation to Church Street) (1:1:100)

RENAISSANCE RETIREMENT

Luxury Retirement Living

Rich & Associates Architects Inc.

PLANNING

Renaissance Retirement

Project Location: 200 West 14th Street, Windsor, Ontario, Canada

Scale: 1/8" = 1'-0" Date: 08/2014

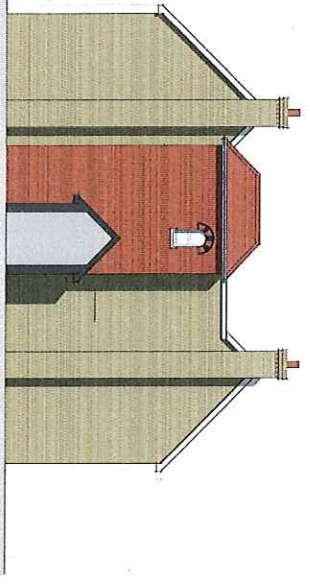
Project No: ASP-14-047-204

Architect: Rich & Associates Architects Inc.

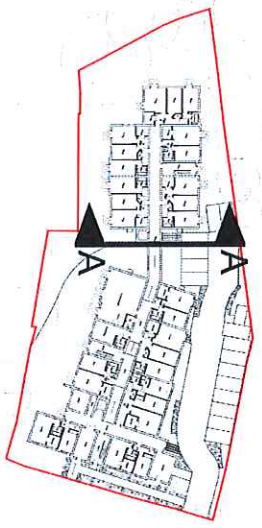
Aspire Architects LLP



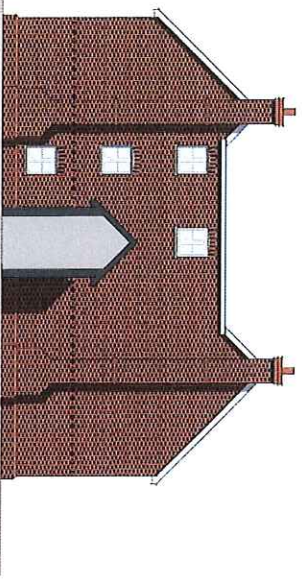
- NOTES:**
1. The contents of this drawing are copyright.
 2. Do not scale for construction purposes. If required dimensions only to be used.
 3. Contractors must verify all dimensions and report any discrepancies before starting work on site or making any major changes.
 4. Lower ground construction retaining structures to be structural engineers design.
 5. Electrical symbols to be agreed with client & added to drawing.
 6. Drawings to be read in conjunction with specifications.



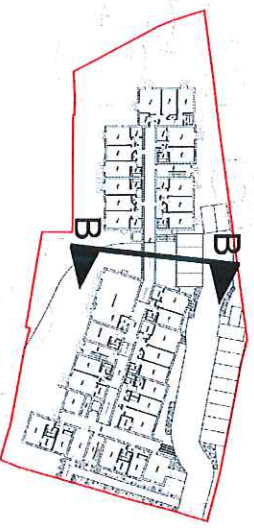
Elevation A-A (1:200)



Key Plan (1:500)



Elevation B-B (1:200)



Key Plan (1:500)

RENAISSANCE RETIREMENT

Luxury Retirement Living

PLANNING

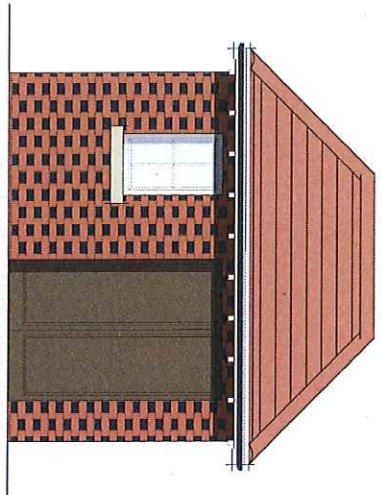
Renaissance Retirement

Church Street, Wanganui

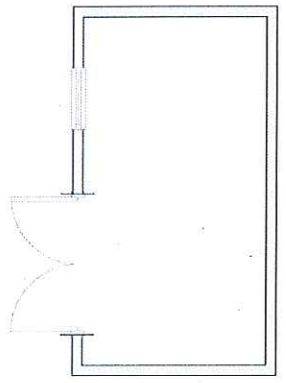
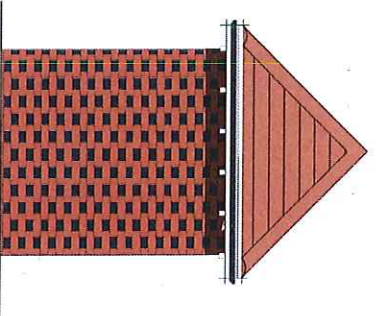
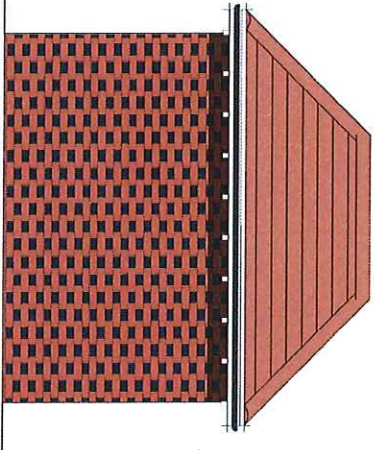
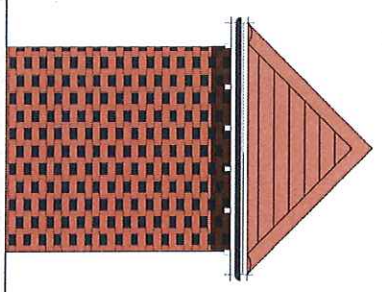
Project No:	ASP_14_047_205	Phase:	B
Client:	Church Street, Wanganui	Architect:	Aspire Architects LLP
Scale:	1:200	Date:	14/04/2015
Drawn by:	[Name]	Checked by:	[Name]
Approved by:	[Name]	Date:	14/04/2015



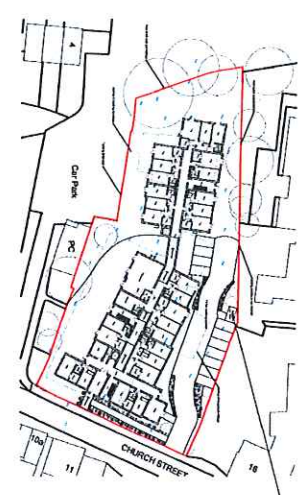
- 1. Notwithstanding to what is shown on this drawing, the contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
- 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
- 3. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.



Battery Car Store 1:50



Plan 1:50



Site Plan 1:1250

RENAISSANCE RETIREMENT

Luxury Retirement Living

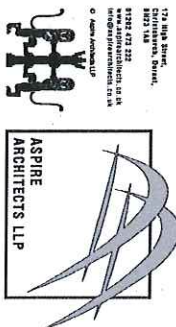
PLANNING

Project Name: Renaissance Retirement
 Location: Church Street, Wantage
 Battery Car Store Elevations

Client: ASP
 Date: 14.02.2016

ARCHITECTURE - PLANNING - PROJECT MANAGEMENT - CDM

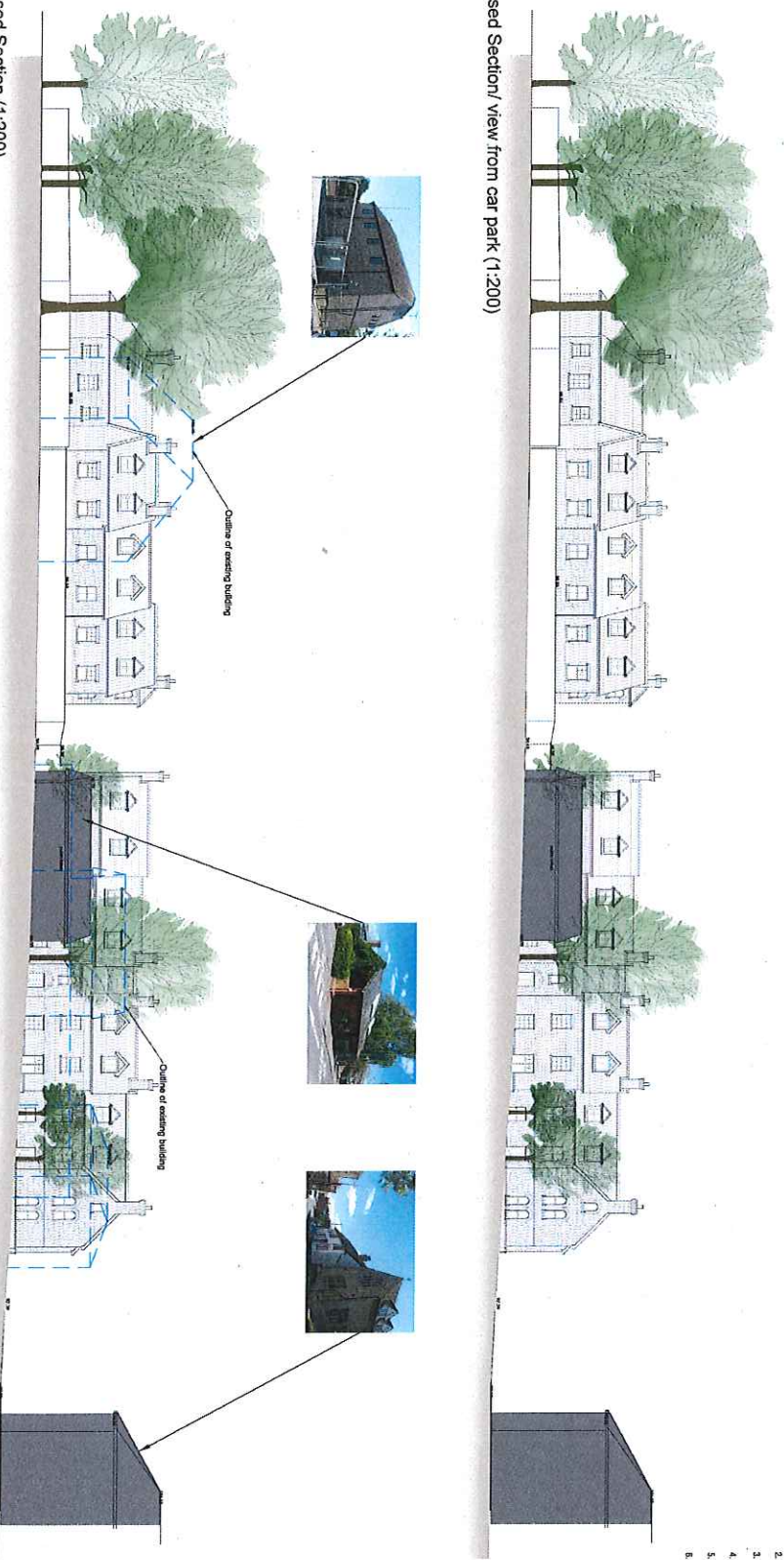
72 High Street,
 Wantage, Oxon, OX12 9JG
 01235 472 222
 info@aspirearchitects.co.uk



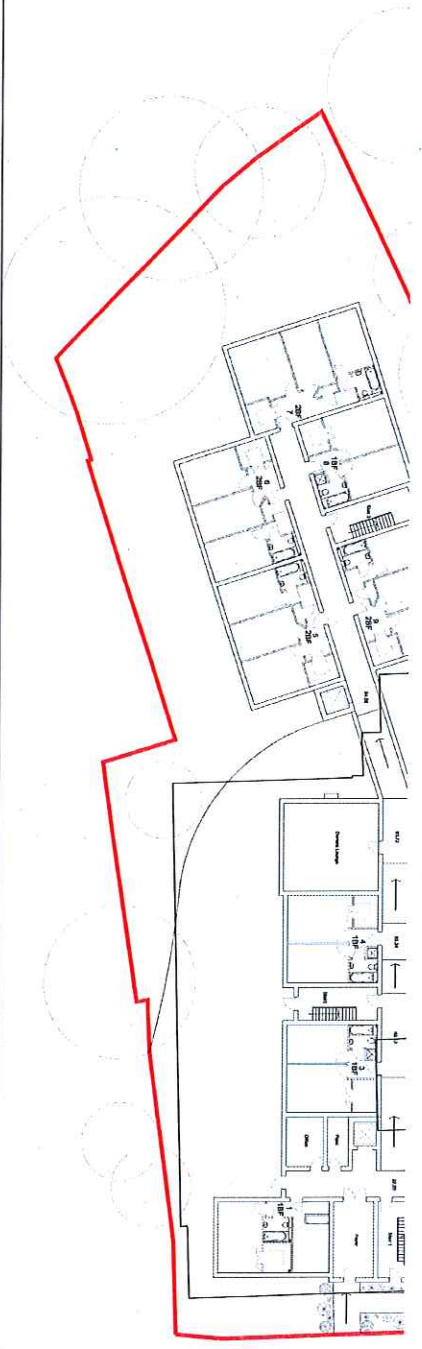
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3. Contractors must verify all dimensions and report any discrepancies before starting work. Retain or modify any shop drawings.
4. Level ground construction. Retaining systems to be structural engineer design.
5. Electrical systems to be agreed with client & added to drawing.
6. Drawings to be read in conjunction with specifications.

Proposed Section/ view from car park (1:200)



Proposed Section (1:200)



Key Plan (1:200)

RENAISSANCE RETIREMENT

Luxury Retirement Living

PLANNING

Renaissance Retirement

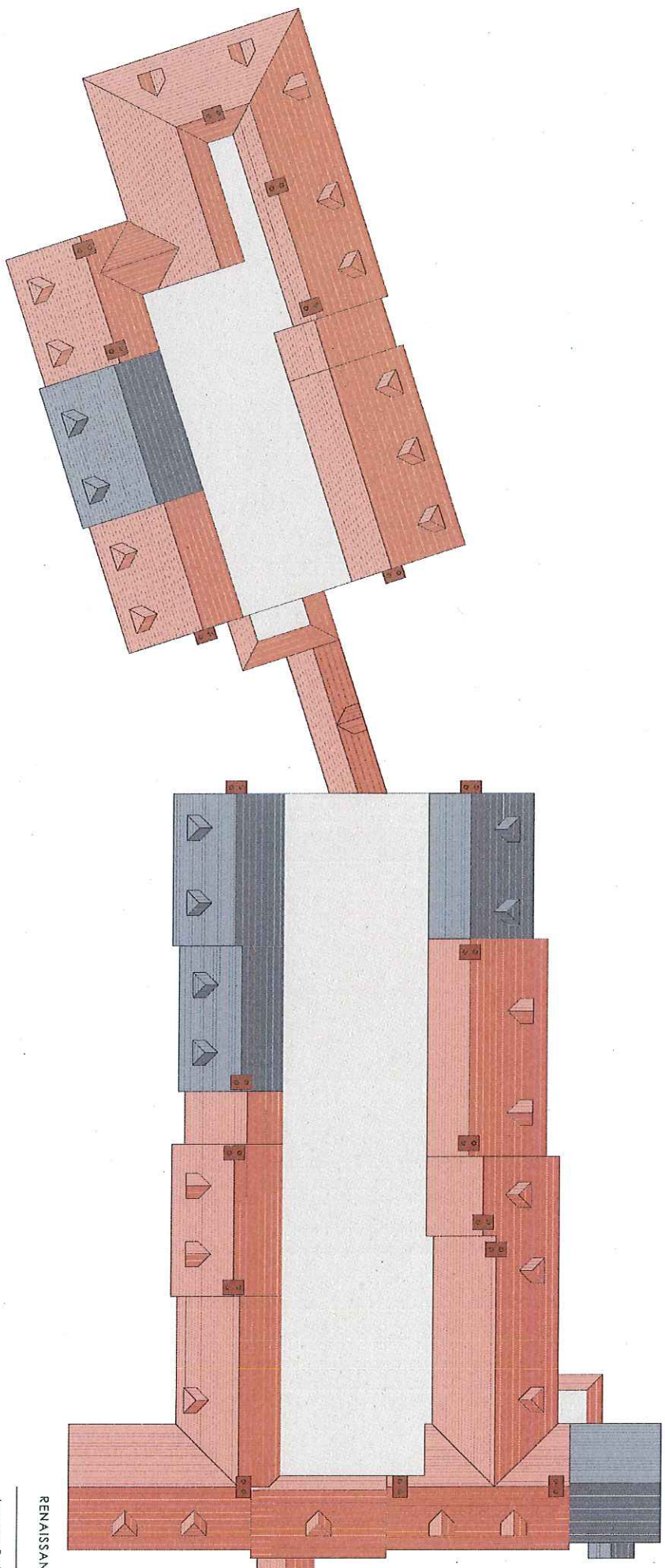
Plot 15/16/17/18
Church Street, Wantage

Scale: 1:100	Date: 11/08/2011	Author: A
Drawn: A	Checked: A	Issue: 1
Drawing No: ASP.14.047.300		

ARCHITECTURE - PLANNING - PROJECT MANAGEMENT - CON

175 High Road
Wantage, Oxfordshire
OX12 9JG
01235 832222
www.aspire-architects.co.uk
© Aspire Architects LLP





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 3. Contractor must verify all dimensions and report any discrepancies before pouring work in hand or making any other drawings.
 4. Lower ground conditions/relating structures to be structural engineer design.
 5. Electrical symbols to be agreed with client & added to drawing.
 6. Changes to be made to construction when specifications.

RENAISSANCE RETIREMENT

Luxury Retirement Living

Plot 1, Clonbeg Park, Carrick
 Newry, Co. Down
 BT26 1L3
 28th Nov 2015

Phase: **PLANNING**

Client: **Renaissance Retirement**

Architect: **ASPIRE ARCHITECTS LLP**

Project: **ASP-14-047-103**

Product: **Phase B**

Scale: **1:100**

Date: **28th Nov 2015**

Drawn by: **ASPIRE ARCHITECTS LLP**

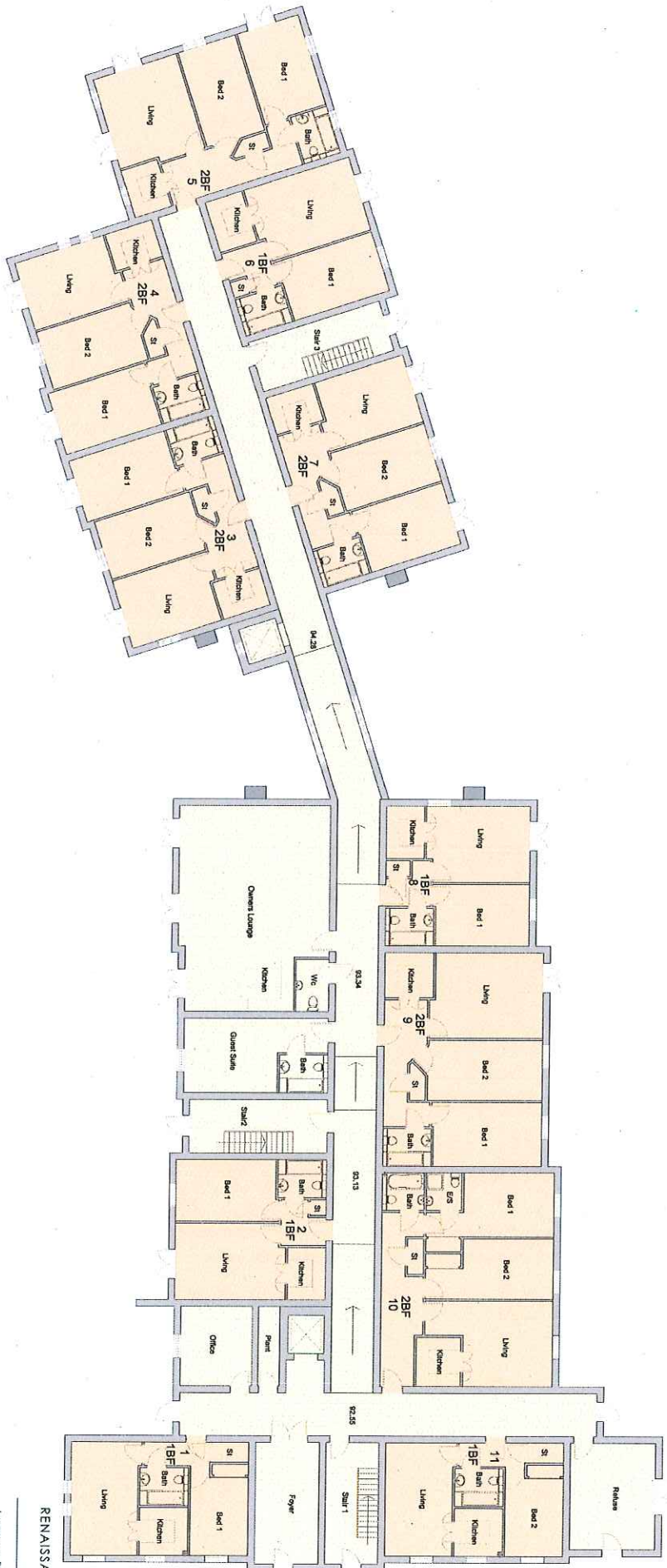
Checked by: **ASPIRE ARCHITECTS LLP**

ASPIRE ARCHITECTS LLP

Proposed Second Floor Plan (1:100)



Room	Ground Floor	First Floor	Second Floor	Total
1 Bed	7	9	6	22
2 Bed	8	9	9	26
Total (No. of apartments)	15	18	15	48
Total (Nett area of floorplate)	1074 SqM	1562 SqM	868 SqM	3504 SqM



- NOTES:**
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 - Contractor must verify all dimensions and report any discrepancies before starting work in hand or making any shop drawings.
 - Lower ground construction/retaining structures to be structural engineers design.
 - Structural loads to be agreed with client & related to drawing.
 - Drawings to be read in conjunction with specification.

RENAISSANCE RETIREMENT

Luxury Retirement Living

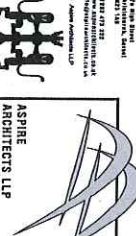
Church Street, Warrage
Proposed Ground Floor Plan

RENAISSANCE RETIREMENT

Church Street, Warrage
Proposed Ground Floor Plan

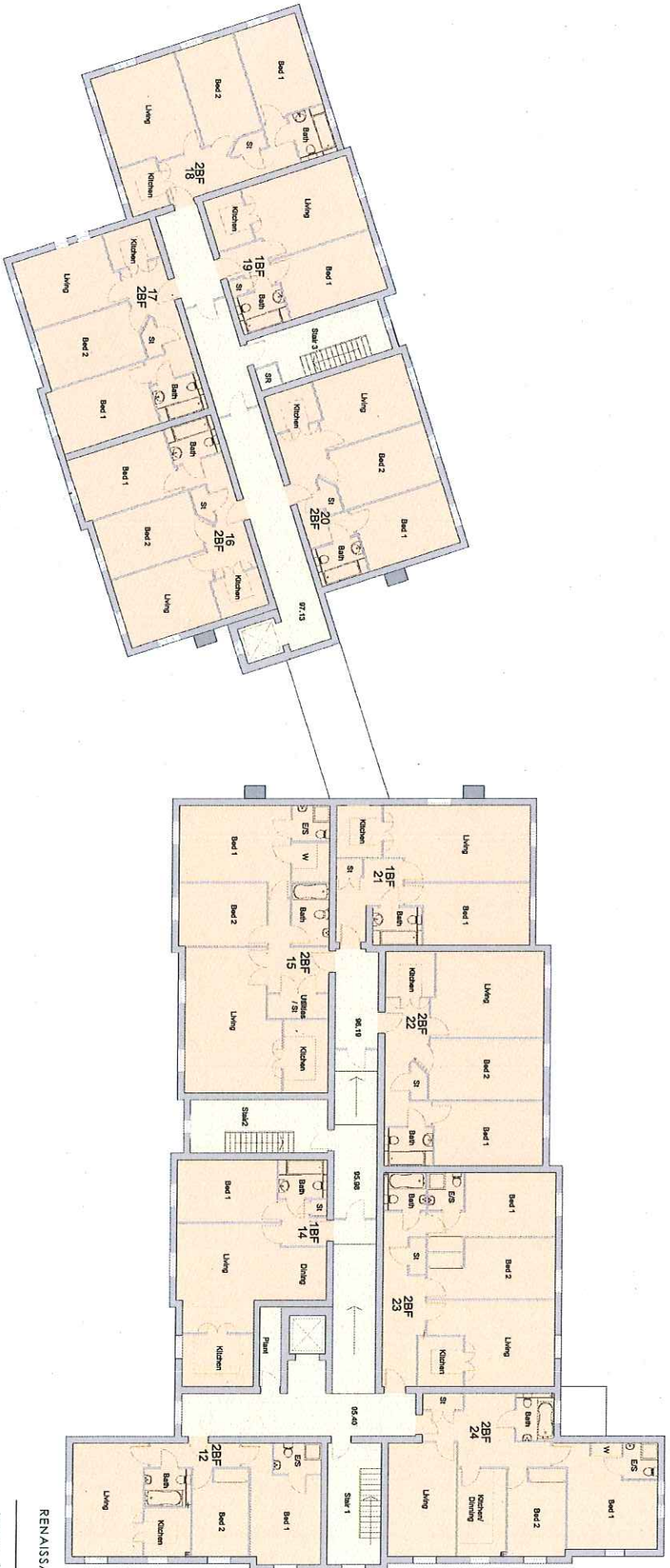
ASP 14.047.100

ARCHITECTURE - PLANNING - PROJECT MANAGEMENT - CBM



Proposed Ground Floor Plan (1:100)

Accommodation Schedule	Ground Floor	First Floor	Second Floor	Total
Bed	5	9	6	14
Bath	6	9	3	18
Kitchen	11	12	9	32
Living	11	12	9	32
WC	1	1	1	3
Stair	1	1	1	3
Other	1	1	1	3
Total	47	56	32	135

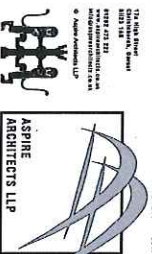


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 2. Do not scale for construction purposes. (Repeat dimensions only to be used).
 3. Contractors must verify all dimensions and report any discrepancies before pricing.
 4. Lower finished construction elevations are to be structural engineer's design.
 5. Electrical symbols to be agreed with client & added to drawing.
 6. Drawings to be read in conjunction with specifications.

RENAISSANCE RETIREMENT
 Luxury Retirement Living
 Church Street, Warrage
 Proposed First Floor Plan

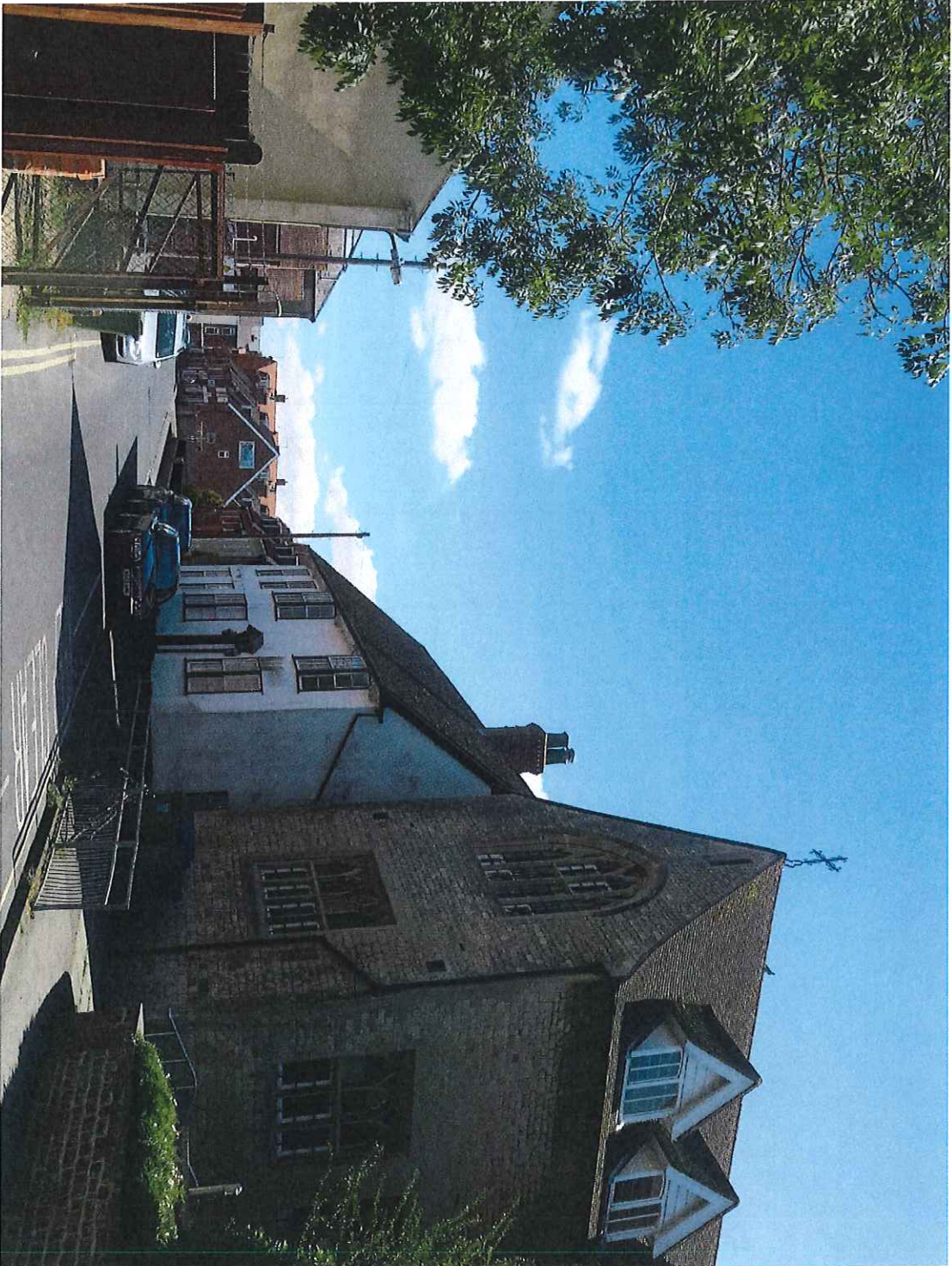
Architect: ASP 14.047.101
 Date: 12/20/15
 Project: Renaissance Retirement

7/3 RIBA Approved
 100 Church Street, Warrage
 Warrage NSW 2242
 Phone: 02 423 2311
 Fax: 02 423 2312
 Email: info@asp14.com.au
 www.asp14.com.au
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Proposed First Floor Plan (1:100)

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 2. Do not scale for construction purposes. Typed dimensions only to be used.
 3. Contractors must verify all dimensions and report any discrepancies before starting work to avoid making any wrong decisions.
 4. Licensed professional engineers or architects are to be consulted regarding details.
 5. Electrical symbols to be provided with detail & added to drawings.
 6. Drawings to be used in conjunction with specifications.



RENAISSANCE RETIREMENT

Luxury Retirement Living

1614 S. HARRINGTON STREET AND HENRIETTA LANE, CINCINNATI, OHIO

PROJECT NAME:

PLANNING

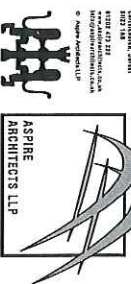
SHEET:

Renaissance Retirement

Prepared by: Church Street, Wantage
Proposed street scene (CGI)

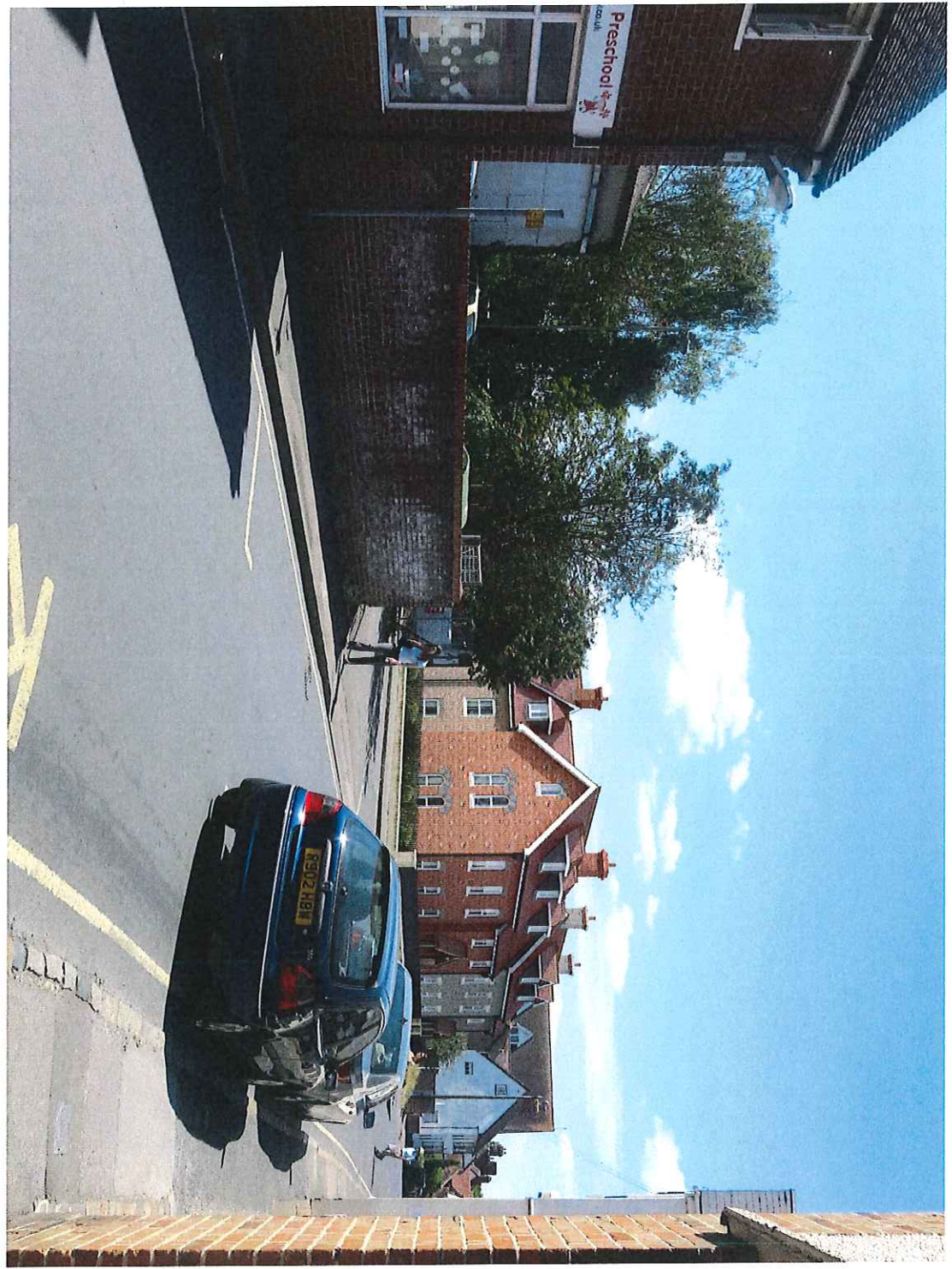
DATE: 08/20/15
DRAWING: ASP-14,047,400

ARCHITECTURE - PLANNING - PROJECT MANAGEMENT - CONSTRUCTION
1740 Main Street
Cincinnati, OH 45202
PHOTOGRAPHY: ASPIRE ARCHITECTS LLP
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5. Electrical systems to be agreed with client & added to drawings.
6. Drawings to be read in conjunction with specifications.



RENAISSANCE RETIREMENT

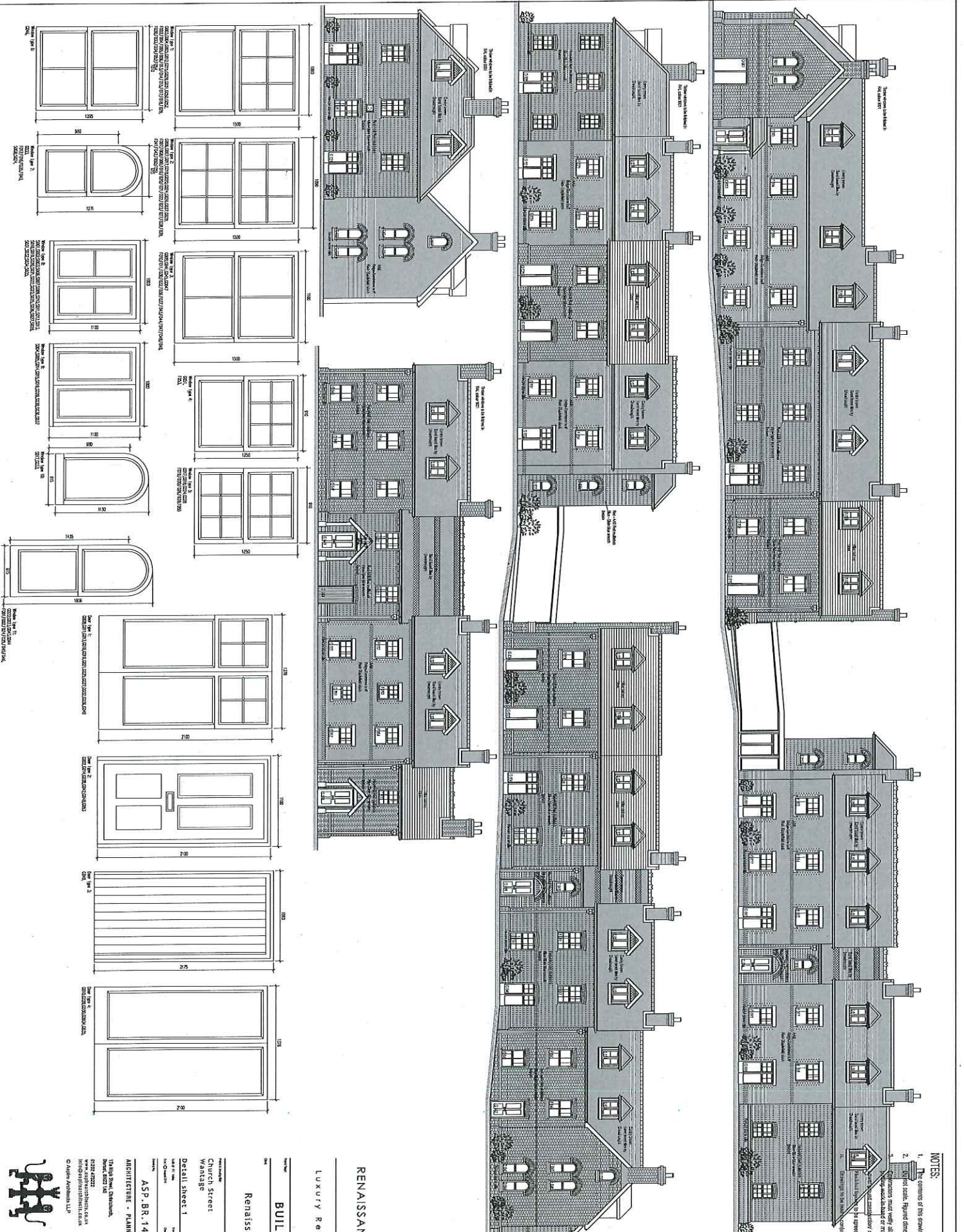
Luxury Retirement Living

PLANNING

Renaissance Retirement

175, 180B Street Warrage, NSW 2214 Australia Tel: +61 2 9222 2222 Fax: +61 2 9222 2222 Email: info@aspirearchitects.com.au © Aspire Architects LLP	
Proposed Street scene (CGI) Date: 04/2023 Drawn by: [Name] Checked by: [Name]	Scale: A Status: A
ARCHITECTURE - PLANNING - PROJECT MANAGEMENT - CDM	





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2. All work shall be performed in accordance with the contract documents and shall conform to the specifications and standards of the building code.
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4. The contractor shall be responsible for the protection of the existing structures and utilities.
5. The contractor shall be responsible for the removal and disposal of all debris.
6. The contractor shall be responsible for the maintenance of the site during construction.
7. The contractor shall be responsible for the completion of the project within the specified time frame.
8. The contractor shall be responsible for the payment of all subcontractors and suppliers.
9. The contractor shall be responsible for the insurance and bonding of the project.
10. The contractor shall be responsible for the coordination of all trades.
11. The contractor shall be responsible for the communication with the architect.
12. The contractor shall be responsible for the overall quality of the work.

BUILDING REGS
Renaissance Retirement

RENAISSANCE RETIREMENT
Luxury Retirement Living

3000
3000

CHINA STREET
MANAGER

Detail Sheet 1

AS.P.BR.14.047.002

ARCHITECTURE - PLANNING - PROJECT MANAGEMENT - CON

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7000

ASPIRE ARCHITECTS LLP